



*City of  
Wenatchee*

## Design Standards for the Grandview Historic District



156, 150 & 146 S. Emerson Street (looking north from Idaho Street)

### *Vision of the Grandview Historic District*

**“The purpose of the Grandview Historic District is to preserve and protect the original character and integrity of its historic buildings, sites, landscapes and distinct sense of neighborhood.”**

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## History

The Grandview Historic District is comprised of six full blocks and 2 partial blocks of 150 properties bound by Delaware, Washington, Miller, Idaho, Alaska Streets. It also incorporates those portions of Douglas, Emerson, Franklin and King Streets (south of Washington and north of portions of Alaska).

Several plats are included in the "district" including the *Amended Great Northern Plat* (the first plat of Wenatchee, 1892), the *Grand View Addition*, dedicated in 1903 and *Jackson Place Addition*, platted in the 1920's.

These neighborhoods function as established residential neighborhoods with consistent land use, continuity of streetscapes and repeating patterns of site design and landscaping. The overall integrity of setting, design, materials, feeling and association remains relatively strong. Included in this area are historic institutional and commercial properties, most sited near the edges of the district boundary.

## Residential Styles

Found in the district are almost exclusive residential properties, largely single family homes with a few converted or actually built for multi-family use.

An array of styles of architecture include *transitional Queen Anne, Four-Square, a few Victorian, Craftsman Bungalow, Colonial Revival, Craftsman/Prairie, Tudor Revival, (some with English Cottage variations), Mediterranean, Mission Style, Prairie, Shingle Style/English cottage and "Vernacular" houses with influences from a variety of architectural styles.* A few more modern homes are also in the neighborhoods. There is also an extensive stock of *auto garages*, mostly found at the back alley entrance to the properties and are of particular note due to their compatible styles and of similar materials to the homes and their placement on the alley.



918-908 Idaho Street

## Placement of properties on the local, State or National Registers of Historic Places

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures and objects of state and local importance. These must possess integrity of location, design, setting, materials, workmanship, feeling, association and:

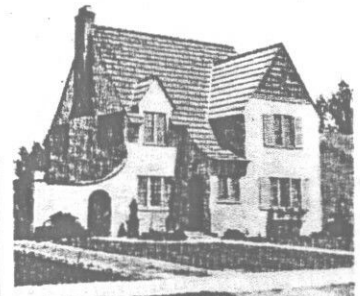
- A property must, in general, be at least 50 years old and considered of national, state or local significance.
- Are associated with events that have made a significant contribution to the broad patterns of our history; or
- Are associated with the lives of persons significant to our past; or
- Embody the distinctive characteristics of a type, period, or method of construction; or
- Represent the work of a master; or
- Possess high artistic values; or
- Present a significant or distinguishable entity whose components may lack individual distinction; or
- Have yielded, or may be likely to yield, information important to pre-history or history.

## Famous Names = Famous Places

Many of Wenatchee's pioneer families built their first homes in this area of the city, worked nearby or established important industries elsewhere in the city. The direct relationship of a property to an important person in our local history is significant and supports the designation of the historic district.



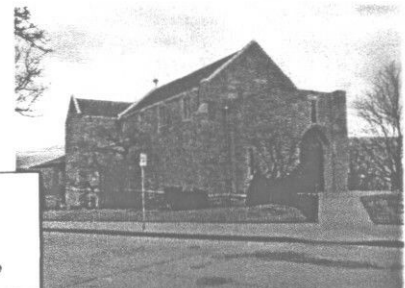
**Louis Crollard Home**  
112 S. Emerson  
*Partner of Crollard & O'Conner, Attorneys*



**The McBride Home, 918 Idaho**  
owner of "*McBride's Women's Clothing Store*"  
Ludwig Solberg, Architect, 1928



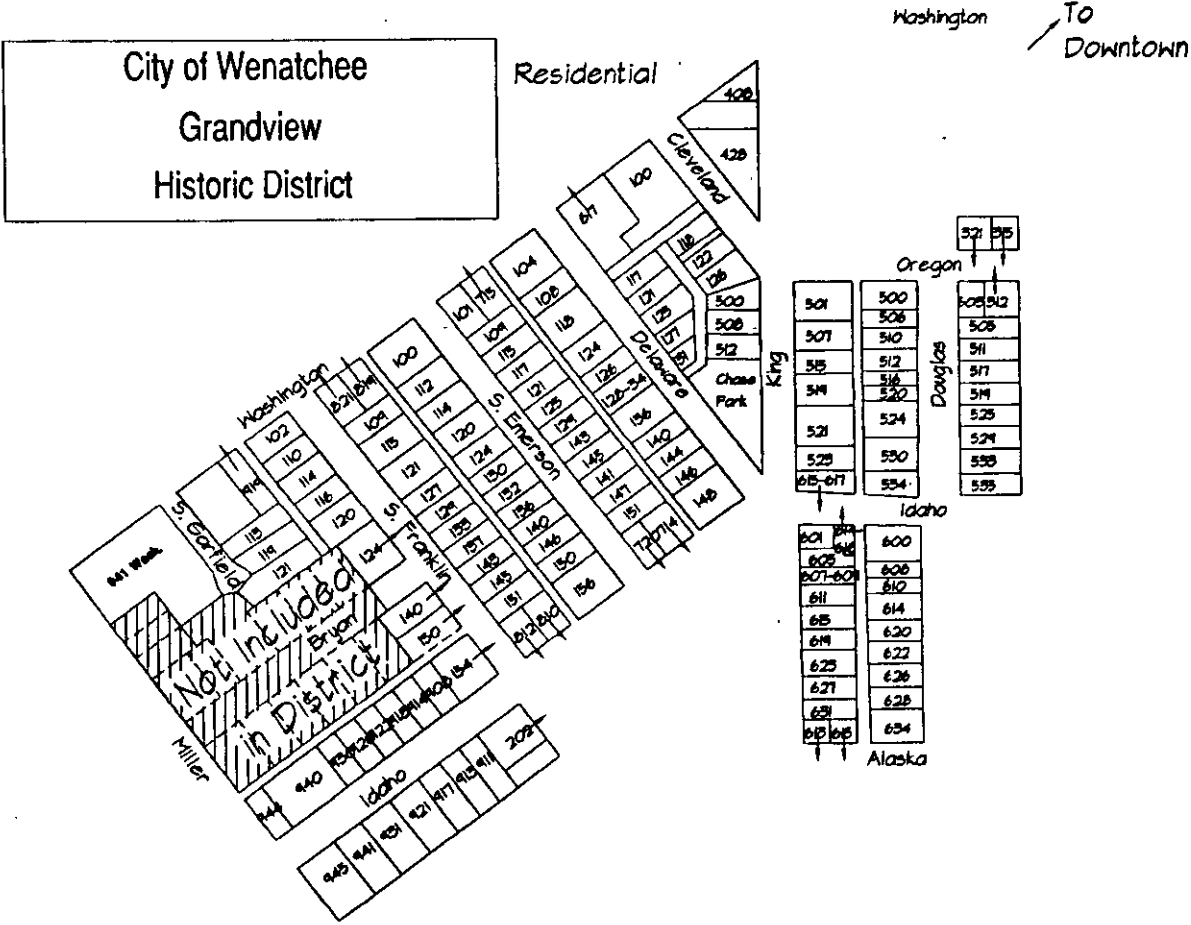
**The Burton Williams Home**  
City Attorney  
Ludwig Solberg, Architect, 1929



**St. Luke's Episcopal Church,**  
428 King St. Built 1927  
Harold Whitehouse, Architect,

# Why an Historic District?

In 2000 and in 2001, the City of Wenatchee received grant funding from the State Office of Archaeology and Historic Preservation to conduct surveys of the historic properties in specific areas of the city. The survey concluded that those specific areas were eligible to comprise an "historic district." The survey highlighted the neighborhood between Washington from Miller Street east to Douglas, south to Alaska, north to Idaho and west back to Miller, as having the greatest number of historic intact property remaining in the city. This area incorporates portions of Idaho, Franklin, Emerson, Delaware, Cleveland, King, Douglas and Alaska Streets.



Property owners from this area were contacted and it was determined that an historic district was of interest to them. Subsequently, a committee was formed from interested property owners in the surveyed areas. Hundreds of hours were spent meeting with property owners, learning about other historic districts in the country, and meeting with state and city officials to determine a course of action. This document is the culmination of that work, but property owners are to note that these proposed guidelines and standards are preliminary at this time and there is the possibility of changes to this document as it goes through the public hearing process. Therefore, this material could change. As those changes occur, property owners will be advised and changes to insert into this book will be provided.

## Mission Statement of the Grandview Historic District

It is recognized that the character of the district is created by the diversity within its boundaries as seen in the distinct architectural styles from large stately homes, carriage houses small cottages, multi-family dwellings, to churches and institutions as well as established parks, trees and landscapes.

The historic district provides families with an enhanced quality of life that includes:

- neighborhood stability
- continued low traffic
- safety found in neighborhood cohesiveness
- freedom from erosion of the neighborhood by the introduction of commercial buildings or other inappropriate infill, as well incompatible changes or additions to structures
- property value increases and preservation of building materials
- educational and tourism opportunities
- a uniqueness that intensifies pride of ownership
- educational and economic resources, including architectural review, to help in maintaining the original character and integrity of buildings when changes are desired
- increased neighborhood awareness, which can facilitate enforcement of present codes and ordinances and any new ordinances, thus preserving property values.

## The Benefits

The benefits of owning a property within the historic district are tremendous.

- ***Sense of pride.*** Being able to enjoy living in an historic home and appreciating the architecture and details of construction is a plus as well as knowing the history of individual houses and the first owners who all in many ways helped shape Wenatchee in those early years. The Grandview Historic District is the first residential district in the City of Wenatchee.
- ***Economics:*** Realizing that one cannot afford to build a house like those found in the district with today's new construction methods. Investments in well maintained historic homes and neighborhoods have shown to increase property values throughout the country.
- ***Special Valuation deduction on property tax program*** is available to most all contributing properties within the district boundary. Historic preservation work on a house can be expensive and the tax benefit helps. The formula is easy: Within 24 months, you must spend, at a minimum, 25 % of the current assessed value of the historic building(s). Costs are reviewed by the Historic Preservation Office and Board. So, if work is being planned on your building, call the Preservation Office first to see if you can qualify!

- ***Uniting the Neighborhood: Think beyond your own property.*** By being united in the effort to preserve our historic neighborhoods, property owners can work together, get to know one another better and think about how each of us are an important part of the neighborhood.

Realizing that the things a property owner does to a property affect a greater whole, may help the property owner think about:

- *what's best for the neighborhood,*
- *the historic property you own and*
- *how to keep your historic property looking its original best.*

## Why Have Design Review?

Preserving the city's heritage has become increasingly important to property owners and residents as the city continually loses historic "resources" and neighborhoods' "character" is threatened. Many citizens recognize that the buildings from our past help define who we are as we move into the future. The older buildings serve as a visual record and "link" to those earlier residents who worked hard to create the high quality environment that we enjoy today.



**510 Douglas Street  
Circa 1910's**

Historic buildings are also visually *interesting* and therefore they *enhance* the urban environment for the entire community. It's in the *details* of historic construction that delight us all. Preserving older buildings also has economic benefits. By maintaining older properties, the tax base is protected and public services are strengthened. Individual property values are also protected even enhanced, when properties in the same neighborhood are sensitively maintained.

In order to protect and preserve the integrity of the historic district, the City of Wenatchee Planning and Building Department must have the "tools" to guide them when proposals are made for changes to properties within the district. Such a tool would be the creation of the adopted ordinance that includes design standards which are required by law. Specific details must be recorded so that it is clearly understood what the expectations will be and what is fair for all properties.

## Steps for Design Review

- Step 1:** Call the Historic Preservation Office at 664-3343.  
When owners begin *thinking* about additions, renovations, or new construction, the Historic Preservation staff is there to help!
- Step 2:** Provide a copy of the Design Standards for the Grandview Historic District and other resources to your architect, designer, builder or contractor. Your plans must meet all City of Wenatchee codes and the historic preservation ordinance to be granted a building permit.
- Step 3:** The Historic Preservation Board has a subcommittee made up of historic district property owners and local volunteers who will review the plans in a timely manner to ensure both the standards are met for the project and the timeline for permitting is not significantly delayed. Take a set of the project plans to the Historic Preservation Board for this review, and a set to the City of Wenatchee Planning and Building Department for review of the building permit application.
- Step 4:** After review, the committee will make a recommendation to the Historic Preservation Board and staff who will issue a "Certificate of Approval" to the Building and Planning Department.

## Historic Design Standards

The following set of design standards are to be used in the design and review of new construction, renovations and building additions for those properties located within the Grandview Historic District.

These standards are based on the historic background statements presented herein. Those wishing to develop (new construction or renovate) within the Grandview Historic District should review the historic background information as well as the standards of design acceptability.

The collection of resources in an historic district is significant because of their contribution to the overall character of the district. The following design standards were developed to ensure new development and renovations are compatible with the historic character of the district. The design standards emphasize protecting the character-defining elements visible from the street.

The character of a street is determined by public elements such as traffic volume, street width, street tree planting, sidewalks, parking strips and private elements on the adjacent properties, such as land use, building size, placement, landscaping, and parking. The streets are the most important common public space in most neighborhoods. For the most part, it is in the street, sidewalks, and the adjacent front yards where people interact with each other and experience the community life of the neighborhood.



## Applicable Standards

This document contains two sets of standards:

1. *The Secretary of Interior Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and
2. *The Standards for the Grandview Historic District.*

All projects must address both sets of standards.

## The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings

These ten guidelines are based on the Secretary of Interior Standards for Rehabilitations and Guidelines for Rehabilitating Historic Buildings. For the sake of "brevity", the Standards are not included in this packet of information. For more in-depth information about the Standards, see their web site at [www.cr.nps.gov/hps/tps/tax/rhb](http://www.cr.nps.gov/hps/tps/tax/rhb) or contact the Historic Preservation Office at 664-3343.

Even though the federal government calls them "guidelines" the following requirements are applied as *standards*. They apply to projects, when applicable, being evaluated through the Design Review procedure in a Historic District.

### Guideline #1

*A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

### Guideline #2

*The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

### Guideline #3

*Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding contextual features or architectural elements from other buildings, shall not be undertaken.*

**Guideline #4**

*Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

**Guideline #5**

*Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*

**Guideline #6**

*Deteriorated historic features shall be repaired rather than be replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

**Guideline #7**

*Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

**Guideline #8**

*Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

**Guideline #9**

*New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with a massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

**Guideline #10**

*New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment shall be unimpaired.*

# Residential Areas and Development

The four areas to be addressed for development or renovation in the district are:

1. Site Design,
2. Houses and Accessory Buildings
3. Landscaping
4. Public Right-Of-Way

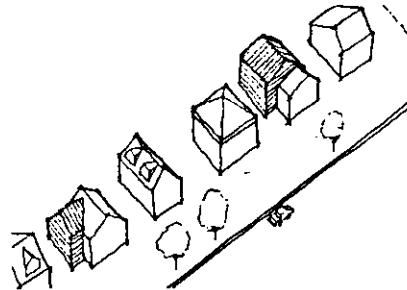
Together, these standards reinforce the historic character of the district by protecting elements in or visible from the public street.

**These standards supersede the minimum standards of the underlying zoning designation and require new development to respect the historic district and its requirements.**

## Site Design

### Guideline #11

*Maintain the building orientation and setbacks that contribute to the historic character of the district.*



### Background:

In the Grandview Historic District, the buildings historically orient to the street rather than to the rear yard or interior side yard. Primary entrances, large windows and porches face the street.

When many of the residential areas in the Wenatchee community were originally developed, the lots had prescribed setback requirements. Today, the uniform front yard setback of 25 feet creates the appearance of larger front yards. This setback contributes to the historic character of the Grandview Historic District. The present R-1 Zoning Code requires a 25 foot front setback.

New residential property, single family or multi-family developments, shall have a front setback that matches that of the adjacent residential front setbacks, placing new development in a manner consistent with existing buildings, regardless of zoning.

### Standards:

**The front yard setback of a new building or addition shall be equal to the average of adjacent or the average of 25 feet and an adjacent structure or 25 feet.**

**Side yard setbacks shall be *no less than 5 feet*.**

### To meet the intent of the guideline and standards:

- The front yard setback of a new building shall match the established range of adjacent properties, typically 25 feet.

- Where the setbacks are uniform, the new building shall be placed in alignment, within 1-2 feet of neighboring properties.
- Side yard setbacks shall appear similar to others in the block as seen from the street, typically 5 feet.

### **Guideline #12**

***Respect the existing grade treatment on a lot.***

***Place new buildings and make site modifications in a manner that reinforces the pattern evident in surrounding buildings.***

#### **Background:**

Many homes in the Grandview Historic District neighborhoods have their lots terraced above the street level.

#### **Standards:**

**Original grade shall be retained. New structures shall also be built at the raised level without significant cutting or filling.**

#### **To meet the intent of the guidelines and standards:**

There are various treatments of the grade change throughout the Grandview Historic District.

- One of the most common is to construct retaining walls made of brick, concrete block, and basalt along the sidewalk.
- Some neighborhoods have lawns sloping down to the sidewalk that stabilize the slope.
- Shallow front steps are used to access the houses.

### **Guideline #13**

***Encourage site design that enhances the sense of community and promotes safe neighborhoods.***

#### **Background:**

Fences, walls, and hedges can influence neighborhood activity and safety. Fences and walls shall respect the style of their adjacent buildings and the treatment of the elevation changes in the neighborhood. Low, transparent fences and shrubs along side and rear property lines provide separation while enabling neighbors to interact and help keep an eye on each other's houses. Reduce the use of front yard fences. Keep fences that are built low and transparent. Soften fences with climbing or screening plants. Keep fences as far back from the sidewalk as practical.

Outdoor lighting is important to neighborhood safety. Night lighting is a deterrent to criminal activities. Encourage property owners to turn on lights at night along alleys, and at their front and back doors.

## **Standards:**

**A front yard fence or wall shall not exceed 40 inches in height and shall be constructed to have a transparent quality, allowing views into the yard.**

**A side yard fence shall not exceed forty inches in height from the front property line to the façade of the primary structure and shall be of a material consistent with the front yard fence.**

**Side yard fences, located behind the building façade may be a maximum of six feet in height.**

**Rear yard fences may be a maximum height of six feet and may use chain link.**

**Exterior lights shall be simple in character and low in intensity.**

**Prevent glare onto adjacent properties by using shielded and focused light sources that direct light onto the ground.**

### To meet the intent of the guidelines and standards:

- Wrought iron or wood pickets are appropriate.
- A stone retaining wall may be considered where the topography of the site dictates its use.
- Chain link, wire fencing, vinyl fencing, split rail and solid "stockade" fences are not appropriate in front yards. These fencing materials may be considered in rear yards where they are not visible from the public street.
- Consider using shrubbery and landscape materials to soften the appearance of a fence or wall
- A side yard fence shall also be low in height. It may reach taller heights once it is behind the main façade of the house and shall consist of front yard fencing materials.
- A rear yard fence is usually taller than the one in the front, and may reach a height of six feet.
- A rear yard fence may use chain link fence but other types of wire fencing (barbed, chicken, or razor) are discouraged.

### To minimize the height of retaining walls

- Use a series of terraces with short walls where the overall retaining height must be greater than four feet

### Use lighting:

- To accent architectural details
- To accent building entrances
- To illuminate sidewalks
- To accent signs & landscaping
- The design of a fixture shall be simple in form and detail.
- Lights that cast a color similar to that of daylight are preferred.

- Lighting fixtures shall be appropriate to the building and its surroundings in terms of style, size and intensity of illumination should prevent intrusion onto neighboring properties.
- The use of down lights, with the bulb fully enclosed within the shade, or step lights that direct light only on to walkways, is strongly encouraged.
- Lighting shall be carefully located so as not to shine into residential living space (on or off the property) or into public rights-of-way.
- Unshielded, high intensity light sources and those that direct light upward are inappropriate.
- Lighting of flag poles shall also be minimal and directed so as not to shine into other residential spaces or those traveling in the roadway.

#### **Guideline #14**

***Follow the placement of on-site parking that has been established by surrounding houses.***

#### **Background:**

As automobiles became increasingly available, existing and newly platted residential sites needed to accommodate the added number of cars. Some areas were developed before cars became common. Many of the residential sites do not have an on-site parking space and some lots have been adapted to accommodate the car. In areas built later, garages were generally detached from the house and placed at the rear of the lot, with access from driveways or connections to an alley. Access to off-street parking is preferable via a service alley in areas with alleys. Reduce the amount of pavement needed for off-street parking by using durable, dust free alternatives to the concrete pad, such as paved tire treads, grass-crete, and brick. Off-street parking shall be visually integrated into the site design of each lot through landscaping and screening.

#### **Standards:**

**A parking pad, carport or garage shall be located to the side or rear of a lot, and be detached from the main structure.**

**A driveway shall lead straight from the street to the parking area and be no wider than 12 feet.**

#### **To meet the intent of the guidelines and standards:**

- Consider providing only ribbon paving. This will reduce visual impacts - as well as allow more drainage through soils.
- Consider sharing a single drive and curb cut where multiple driveways are needed.
- A parking pad located in the front of a residence is inappropriate.
- Locate the garage or carport at least ten feet behind the front of the main structure.
- A garage and the garage doors shall not be visually overpowering to the main structure. It shall be detailed similar to that of the main structure.
- A carport shall have a painted, non-metallic finish. Consider a carport constructed from wood.

- A parking area shall be located to the rear of a site unless there is no land available for a parking area.
- Do not use a front yard for parking. Instead, use a long driveway or alley access that leads to parking located behind a building.

## **Houses and Accessory Buildings**

### **Guideline #15**

***Maintain the architectural integrity of the building visible from the street.***

#### **Background:**

The house's front façade is the most important contribution to the historic character of the district. Building additions shall be in keeping with the original architectural character, color, mass, scale, and materials.

Additions and structural alterations shall be limited to the rear and side yards where they are minimally visible from the street. Additions shall be designed to have the least impact upon character defining features. The relationship of height to width of new additions and their sub-elements, such as windows and doors, and of alterations shall be compatible with the character of the surrounding area. The relationship of wall to window shall also be compatible with related elements of the building and with historic character of the surrounding area.

Primary entrances to buildings shall be oriented to the street rather than to the rear yard or interior side yard. Blank facades without windows shall not be used. Original entrances to buildings, front porches, and projecting features, such as balconies, bays, and dormer windows shall be retained or restored. New accessory structures that can be seen, entirely or partially, from the public street shall also use the style, colors, and materials of the existing house.

#### **Standards:**

**Design a new addition such that the original character can be clearly seen.**

**Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.**

**Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure unless they are being repaired, or replaced with exact replicas. This includes removal of any second story of an historic structure.**

**A new addition and any new construction shall be compatible in scale, materials and character with the main or neighboring building.**

**Height of any building shall not exceed 30 feet.**

**The roof form of a new addition shall be in character with that of the primary building.**

**When constructing a rooftop addition, keep the mass and scale subordinate to the primary building.**

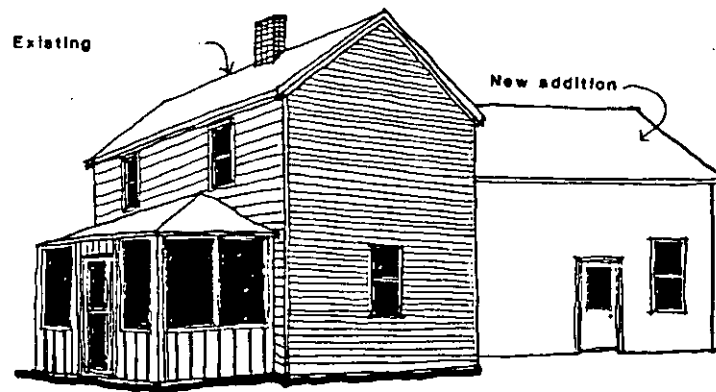
**A rooftop addition (defined as any feature altering the original roof shape or design) shall be set back from the front of the building. This will help preserve the building's proportions as seen from the street.**

**Original second stories shall not be removed to add a new addition to the building or to lower the roof.**

**When adding a dormer to an existing roof, it shall be in character with the primary structure's design.**

**Mechanical and electrical equipment, such as solar panels, satellite dishes, air conditioners, attic fans, and window air units shall not be placed on primary, character-defining facades or in front yards.**

**Do not hinder the ability to interpret the design character of the historic building with new additions or alterations.**

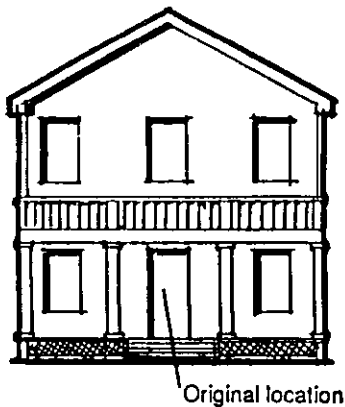


To meet the intent of the guidelines and standards:

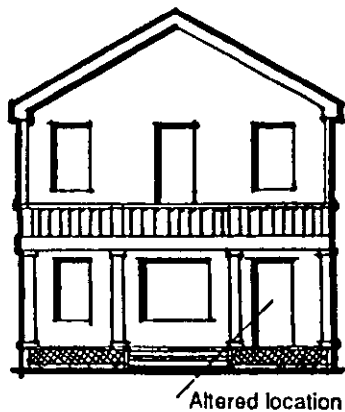
- An addition shall be made distinguishable from the original building, even in subtle ways, so that the character of the original can be interpreted.
- Creating a jog in the foundation between the original and new structures may help to define an addition.
- Even applying a new trim board at the connection point between the addition and the original structure can help define the addition.
- See also Preservation Briefs #14: *New Exterior Additions to Historic Buildings*, published by the National Park Service. Preservation Briefs may be found on the Internet at [www.cr.nps.gov/hps/tps/briefs/presbhom.htm](http://www.cr.nps.gov/hps/tps/briefs/presbhom.htm)
- Locating an addition at the front of a structure is inappropriate.
- An addition should relate to the historic building in mass, scale and form. It shall be designed to remain subordinate to the main structure.



- While a smaller addition is visually preferable, if a residential addition would be significantly larger than the original building, one option is to separate it from the primary building, when feasible, and then link it with a smaller connecting structure.
- An addition shall be simple in design to prevent it from competing with the primary facade.
- An addition shall be set back from any primary, character-defining facade.
- Typically, gable, hip and shed roofs are appropriate for residential additions. Flat roofs are appropriate for commercial buildings.
- If the roof of the primary building is symmetrically proportioned, the roof of the addition shall be similar.
- The addition should not overhang the lower floors of the primary building in the front or to the side. This will help maintain the original profile of the building.
- A dormer shall be subordinate to the overall roof mass and shall be in scale with older ones on similar structures.
- Minimize damaging historic materials in order to insert new mechanical and electrical systems, such as cutting holes in walls.
- New designs that create an appearance inconsistent with the historic character of the building are inappropriate.
- Alterations that cover significant historic features are also inappropriate.



✓  
YES!



✗  
NO!

**Respect traditional entrance patterns when planning any additions to an historic building.**

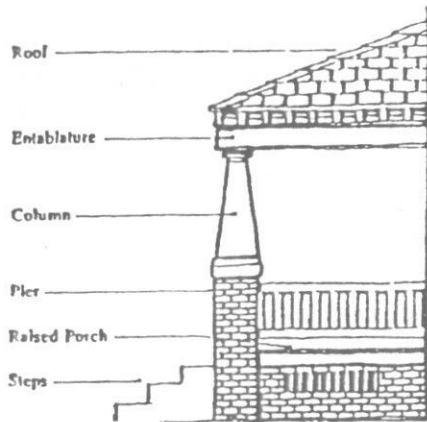
**Retain the appearance of the relationship of primary entrances that usually face the street, when planning new additions.**

## **Guideline #16**

### ***Continue the use of porches in historic districts.***

#### **Background:**

Many of the houses in the Grandview Historic District and in many neighborhoods throughout Wenatchee have porches. The prominent architectural styles during the development of the historic areas, such as bungalow and Queen Anne, included front porches in their design.



Porches enhance a neighborhood for many reasons. They offer a place for people to partake in the activity of the neighborhood. They also contribute to the safety of the neighborhood because people are able to watch the street and each other's houses.

New construction and exterior remodeling shall incorporate front porches that are large enough for people to sit and observe the public life of their street and neighborhood.

#### **Standards:**

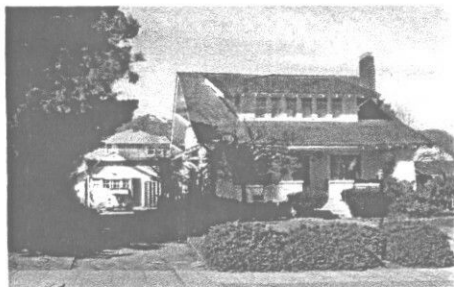
**Orient the front of a house to the street and clearly identify the front door.**

**The use of a porch is encouraged in any residential development. A porch shall be similar in character, design, scale and materials to those seen traditionally in the neighborhood.**

**Existing enclosing historic porches shall not be enclosed**

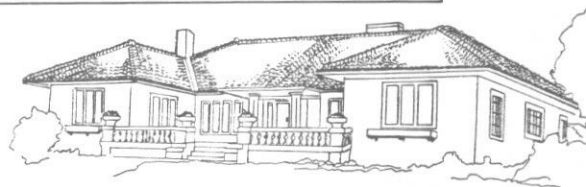
To meet the intent of the guidelines and standards:

- A prominent entry will contribute to the pedestrian-friendly character of the street.
- Use a one-story porch element to define the entry.
- The size of a porch should relate to the overall scale of the primary structure to which it is attached.
- A porch shall use similar materials to that of the primary structure.



Original Victor Cedergreen Home  
Manager of Columbia Ice & Cold Storage,  
120 S. Emerson

Original Nathan Neubauer Home,  
Owner of Neubauer's Department Store  
104 S. Delaware  
Designed by Ludwig Solberg, Architect



- Porch supports shall be of a substantial enough size that the porch does not appear to float above the entry.
- Brick or wood columns are appropriate for most structures in the Grandview Historic District.
- If porch replacement is necessary, reconstruct it to match the original in form and detail.
- Porch columns shall be similar to those found historically.
- Use materials similar to the original.
- Avoid decorative elements that are not known to have been used on your house or others like it.
- On buildings where no evidence of a porch exists, a new porch may be considered that is similar in character to those found on other representative buildings if architecturally appropriate to the overall design of the building.
- Primary, character-defining porches shall not be enclosed.
- Secondary porches may be enclosed, if configured in such a manner that the historic character is still visible.

### **Guideline #17**

#### ***Make roof pitch and lines similar to others in the neighborhood.***

##### **Background:**

The architectural styles of the houses in the Grandview Historic District generally have steeply pitched roofs. It is important that newly constructed houses continue this pattern and use roof pitches that are similar to those on the adjacent lots on the same street frontage.

Because of the architectural styles that were popular during the development of the historic district, many of the houses have dormers in their roofs. The use of dormers is an element of many of the historic houses found in Wenatchee that is worth repeating and preserving in new construction. Dormers add light into the dwelling as well as additional living space.

##### **Standards:**

**Use traditional roof forms as seen on historic buildings in the district.**

**The same roof pitch as the house shall be used when remodeling or building new accessory structures.**

**The number and size of dormers shall be limited on a roof so that the primary roof form remains prominent.**

**Roofs shall be similar in scale to those used historically on comparable buildings.**

**Roof materials shall be composite shingles or other materials that convey a scale and texture like or similar to that which is traditionally used.**

**Skylights, solar units, mechanical and service equipment, and new roof features shall not be placed on the building so they are visible from the street.**

**New roof features on existing buildings, such as a roof addition or new dormers, shall be compatible in size, scale, materials, and color with the original building.**

**Repairs and alterations of the roof shall retain the original roof shape and pitch, original structural and decorative features such as gables, dormers, chimneys, cornices, parapets, pediments, frieze boards, exposed rafters, and other ornamental details, and original types, sizes, colors, and patterns of roofing materials.**

To meet the intent of the guidelines and standards:

- Sloping roofs such as gable and hip roofs are appropriate for primary roof forms.
- Exotic building and roof forms that would detract from the visual continuity of the street are discouraged. Geodesic domes and A-frames are not considered traditional building forms and shall not be used.
- Eave depths shall be similar to those seen traditionally in the neighborhood.
- Because they break up the perceived scale of a roof, dormers are also encouraged. Rewrite to: Dormers are encouraged because they break up the perceived scale of a roof.
- The top of a dormer's roof shall be located below the ridge line of the primary roof and set back from the eave.
- Dormers shall be oriented to the window feature below.
- The length of a roof ridge shall not exceed those seen historically on comparable buildings.
- Roof materials shall be earth tones and have a matte, non-reflective finish.
- Wood shingles are also appropriate where allowed.



**Guideline #18**

***Use materials and construction details that are compatible with surrounding historically significant buildings.***

**Background:**

The materials and construction details used in new construction and remodeling projects shall be sensitive to the surrounding historic character of the district. Remodeling projects shall respect the building's original architectural materials and details. New construction shall repeat some of the materials and construction details seen in the historic buildings in the district.

This design standard has been divided into four categories:

- |                             |                                 |
|-----------------------------|---------------------------------|
| <b>1. Exterior Siding</b>   | <b>3. Architectural Details</b> |
| <b>2. Windows and Doors</b> | <b>4. Foundations</b>           |

**Exterior Siding**

Siding materials used on new buildings and additions shall be consistent with predominant materials used on buildings of similar architectural style.

Horizontal board siding, stucco and brick are the common building material throughout the Grandview Historic District. Restoration of original colors, or colors appropriate to the style and era of the building, is encouraged. Original siding materials shall be maintained. Materials used on additions shall match or be compatible with the predominant materials used on the original structure. The following materials shall not be used: plywood, exposed concrete block, metal, and plastic (vinyl).

**Standards:**

**Maintain the existing range of exterior wall materials found in the historic district.**

**Exterior wood finishes shall appear similar to those used historically. The lap dimensions of siding shall be similar to that found traditionally (i.e., four to five inches of lap exposure).**

**Vinyl siding is not an acceptable product to use on historic homes within the district. The installation of vinyl siding will move a property to a "non-contributing status."**

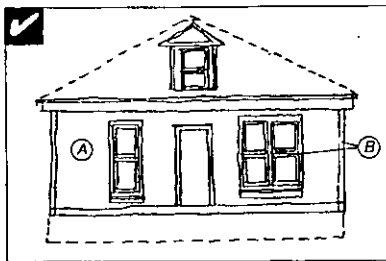
**Newer siding materials may be considered, if they appear similar in character and detailing to traditional building materials (i.e., lap dimensions) and do not cause a property to move from a "contributing" property into "non-contributing" status.**

- Use of new materials shall have a demonstrated durability in this climate and have the ability to be repaired under reasonable conditions.**

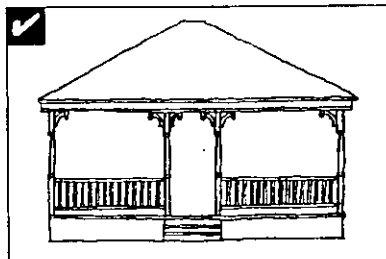
To meet the intent of the guidelines and standards:

- Appropriate materials for primary structures include horizontal lap siding, shake shingles, stucco and brick.
- Details of siding should match those of traditional wood siding i.e., the lap dimensions of siding shall be similar to those of historic wood lap siding (i.e., four to five inches of lap exposure).
- Reflective materials, such as mirrored glass or polished metals, are inappropriate.
- Maintain protective coatings of paint or stain on exterior wood siding.
- Use colors to create a coordinated color scheme for a building. The choice of color for a building can greatly affect how well it fits in with the other buildings in the neighborhood.
- While color choice is a personal decision of the property owner, consider how your building's colors will fit harmoniously into the neighborhood while expressing your individuality.

When designing a color scheme, consider the entire composition. The back plane of the main façade is a major surface and a color scheme for the front plane (composed of a porch in this example) should also be designed.



Apply a base color to the main plane of the facade (A). Next, apply the first trim color to window frames and edge boards (B).



When developing a color scheme, use a limited number of colors. Apply one or two colors to porch elements; avoid making the scheme too busy. Consider using a different shade of the first trim color—or even matching it exactly for porch trim.

**Choose the number of colors sparingly.**

Three colors are usually typical but don't forget the roof color and how it plays into the color palette.

**A 1" x 1" paint chip will take on a life of its own on an entire house!**

Buy a quart of paint of the chosen color to paint a larger section before making a final decision.

**Employ color schemes that are simple.**

One muted tone of base color for body, 1-2 accent colors is typical.

Use matte finishes and reserve the bright colors for accents such as highlighting an entry.

A building color guide for historic homes can be found at most every building, paint and hardware store. Included in this binder are color palette examples. Look for "historic" color palette samples at most hardware or paint stores.

**Consider the following information when choosing paint colors for a building based on the style of architecture:**

**Early Vernacular and Federal:** Walls are pale such as white, off-white, beige or gray with a lighter trim of white, buff or pale yellow. Doors are either black or natural.

**Greek Revival:** Walls and trim are usually white with deep bright green trim or yellow walls with white trim and green shutters and doors.

**Italianate:** Walls are natural earth and stone colors with a trim in a contrasting shade of the basic color.

**Queen Anne:** Deep rich colors such as greens, rusts, reds and browns can be used on the exterior trim and walls of late-Victorian-era homes.

**Folk Victorian and American Foursquare:** Very simple with one color for trim and a contrasting color for the wall.

**Bungalow, Tudor Revival:** Natural earth tones and stains of tans, greens and grays.

**Colonial Revival:** Softer colors of white yellow or tan, trim white or ivory. Shutters are green, black or dark blue.

### **Windows & Doors**

Many of the most defining features of an historic structure are tied to the windows and entries of the front façade. Windows and doors are important elements in the composition of a house and are typically highlighted or accented. Windows are the “eyes” of a house. Certain, and often specific, styles of both windows and doors reflect the style of the architecture of the house.

#### **Standards:**

**Match the existing windows, particularly those that are visible from the street when replacing deteriorated windows or adding new windows.**

**Maintain attention to the detail of the size, scope, placement and features (i.e. double hung wood casing) must be when replacing or renovating windows in the Grandview Historic District with newer, compatible windows.**

#### **To meet the intent of the guidelines and standards:**

- Horizontal sliding windows are inappropriate in the front of the building.
- New construction shall reflect the window patterns of the neighborhood. Openings shall indicate floor levels and not be placed between floors. Retain vertically proportioned windows.
- Awnings over doors and windows are historically seen in the district. If a building features awnings in historically appropriate materials, they may be retained and replaced with similar materials, such as canvas.
- Vinyl windows are not recommended.
- Plastic or vinyl awnings are inappropriate.

## **Foundation**

Masonry and brick details are common in the historic areas of the city. They are used in the foundation, porch, around windows and doors and chimneys of masonry materials, such as ornamental concrete blocks, poured concrete with a stucco wash or stone.

### **Standards:**

**Changes to the foundation shall match or be compatible with the original foundation in height and material and be compatible with their architectural style and materials.**

### **To meet the intent of the guidelines and standards:**

- To be compatible with existing houses in the Grandview Historic District, foundations shall be one to three feet in height and constructed of masonry materials, such as ornamental concrete block, poured concrete with stucco wash, river rock, rubble rock, brick or stone.

## **Guideline #19**

***Accessory buildings shall be subordinate to the primary structure on the site.***

### **Background:**

Accessory buildings or those buildings secondary to the primary structure or residential living spaces are often overlooked. Many accessory buildings in the historic district were designed as a part of the primary structure, often constructed in duplicate. Many of the garages face alleys that are, in themselves, of strong architectural design. Respecting the historic accessory buildings and their use is an important aspect of the district and maintaining them shall be a priority. For newer construction or adding to historic outbuildings, such as garages, the following shall be considered:

### **Standards:**

**Locate an accessory building to the rear of a lot.**

**Construct an outbuilding that is subordinate in size and character with the primary structure.**

**An accessory building shall be similar in character and design to those seen traditionally in the neighborhood.**

**Accessory structures shall be no larger than 1 story and have a maximum wall height of ten feet which allows for different roof styles found in the neighborhood.**

### **To meet the intent of the guidelines and standards:**

- Locating an accessory building to the side of a primary structure, but set back substantially may also be considered where zoning regulations allow.



- In general, accessory buildings shall be unobtrusive and not compete visually with the house.
- While the roof line does not have to match the house, it is best that it not vary significantly.
- An accessory building should remain subordinate, in terms of mass, size and height, to the primary structure (i.e., it should not exceed the height of the primary structure).
- Basic rectangular forms, with hip, gable or shed roofs, are appropriate.
- A contemporary interpretation of an accessory building may be considered.

## Landscaping

### Guideline #20

***Maintain historic plantings and encourage new plantings that are consistent with the characteristics of historic plantings in the neighborhood.***

#### **Background:**

A typical front yard begins at a public sidewalk, continues to the porch and ends at the front door. This sequence enhances the pedestrian environment and contributes to the character of the neighborhood. It shall be maintained.

The Grandview Historic District has a wonderful collection of old-fashioned landscape material; some which were planted shortly after the houses were constructed. There is a combination of ornamental and natural plants. Using plants that compliment the period architecture and enhance the historic character of the districts is an inexpensive way to continue the historic spirit of the district.

Plants popular during the primary periods of construction are encouraged. The retention of front yards landscaped with grass, trees, shrubs and perennials popular during the early development of the neighborhood is also encouraged.

Items which are discouraged include: plastic coverings over the soil and plants that are on Wenatchee's "Nuisance Plants Lists" (included in this binder).

#### **Standards:**

**Use a grass lawn in front yard.**

#### To meet the intent of the guidelines and standards:

- Minimize the amount of hard surface paving for patios, terraces or drives in a front yard.
- The use of rock and gravel is discouraged, and if used, should only occur as an accent element. Rewrite to: Use rock and gravel as an accent element only.
- The front yard shall be similar in depth to the neighboring houses.
- Fake or other synthetic "grass" is not appropriate in the historic district and is discouraged from being installed.

### **Guideline #21**

***Create a continuous system of street trees throughout the residential areas.  
Maintain existing street trees and plant new street trees where appropriate.***

#### **Background:**

There is an extensive system of street trees in many of the historic areas in the Wenatchee community. Many of these trees were planted as part of the original development and have grown to a grand size. They beautify the street, provide habitat to small animals and birds and provide much needed temperature relief from the sun.

#### **Standards:**

**Existing trees shall be maintained and new trees shall be planted.**

To meet the intent of the guidelines and standards:

- These trees are a valuable historic resource and shall be maintained.
- Areas that lack street trees shall be identified and trees planted.
- The species planted shall be consistent with the species and spacing of other street trees in the area and the ability of the parking strip to support trees.
- Street tree pruning shall respect natural growth habits; street trees shall not be topped, sheared, or pollarded.
- Street trees that are on public right of way may be monitored by the Street Department if branches that are hanging over sidewalks and, block or impede pedestrians. The property owner is required to remove obstructing limbs from the right of way.

A list of shade trees as well as trees that put down longer roots to prevent sidewalks from buckling is included in this binder for your reference.

Because the parking strip is located in the city right-of-way, the City of Wenatchee Street Department shall be contacted before planting any trees. It is also required that you “**Call Before You Dig**” at 1-800-424-5555 for other utilities to be notified so they can locate their systems in the public right of way.

### **Guideline #22**

***Enhance the pattern of historic plantings in the planting strips.***

#### **Background:**

Historically Wenatchee’s planting strips, that area between the street and the sidewalk, have been landscaped with grass, trees, and shrubs. This strip is typically between three to five feet wide.

#### **Standards:**

**Planting strips are not to be used for parking areas.**

**Planting strips shall be planted with natural materials, such as grass, perennials, and trees.**

To meet the intent of the guidelines and standards:

- Street trees are planted in the parking strips.
- Avoid placing rock, asphalt or other non-permeable alternatives in the planting strips.

## **Public Right-of-Way**

### **Guideline #23**

***Maintain and use alleys for vehicular access and the placement of utility lines.***

#### **Background:**

Alleys within the historic district were planned for vehicular access and for the placement of the overhead utility lines. This allowed for the front yards and public streets to remain clear and visually pleasing. Those streets not having alley accesses have more utilities crossing over the streets and parking strips creating visual “clutter.”

#### **Standards:**

**Alleys shall be used as primary access for parking and utilities.**

To meet the intent of the guidelines and standards:

- Where alleys exist and are passable, access to off-street parking and garages shall be provided using the alley.
- Service alleys shall provide the primary routes for underground and overhead utilities in the district, which cross streets, parks, or parking strips and shall be consolidated and rerouted down alleys, placed underground or removed as feasible.
- Alley safety shall be enhanced by lighting and visibility from abutting buildings, taking care not to encroach on a neighbor’s living space with intensive safety lighting.

### **Guideline #24**

***Preserve stamped sidewalk details and horse rings.***

#### **Background:**

These standards pertain to the City of Wenatchee and private developers when making sidewalk and street improvements. The Grandview Historic District and other historic neighborhoods in Wenatchee have many sidewalk details worth preserving such as stamped sidewalk details and horse rings.

#### **Standards:**

**Architectural details shall be preserved or restored.**

To meet the intent of the guidelines and standards:

- The *stamped sidewalk details* which are important documentation of the development of the neighborhood shall be maintained.
- The *horse rings* reflect an earlier time when walking; biking and using horses were the primary means of transportation in the neighborhood and shall be maintained.

### **Guideline #25**

#### ***Respect the street patterns of the Historic District.***

##### **Background:**

The pattern of the streets is a very powerful organizing element in the residential neighborhoods. Most of the historic district neighborhoods are laid out in an obvious grid.

##### **Standards:**

**New construction shall not change the historic street pattern.**

To meet the intent of the guidelines and standards:

- Traffic calming devices may be used to improve the livability of a neighborhood. Design them to have the least amount of impact on the street pattern.
- Plant historically compatible materials in traffic circles.

### **Guideline #26**

#### ***Retain or restore original public utility features, such as water meter covers, manhole covers and hydrants, light standards unless replacement is necessary for public health and safety reasons.***

##### **Background:**

These elements have historic significance to the development of the district. Often they are stamped with dates and have unique designs that add to the character of the districts.

##### **Standards:**

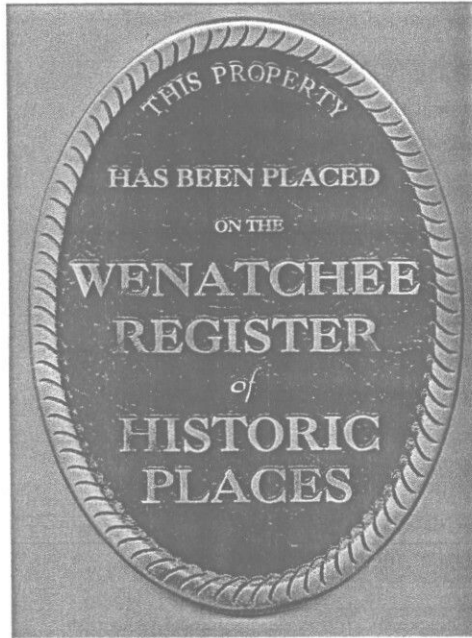
**Where public utility features are to be replaced, particularly street lights, it is requested that the City enter into discussions with the neighbors in the district to use original looking or appropriate styles of pedestrian/street light poles and fixtures.**

To meet the intent of the guidelines and standards:

- Appropriate light poles and fixtures continue the preservation of the neighborhoods.
- Communication between the City and the property owners about these issues is desired.

**Guideline #27**

***Encourage the use of historic plaques within the district that may identify the district boundary, individual buildings and other places of significance within the district such as historic parks or other public areas.***



Plaque or other signage ideas might include:

- Metal signs marking the district on top of or placed onto existing street poles at the edges of the district boundary.
- Marine grade fabric banners on street light poles, requiring brackets to be placed on existing or new poles
- Individual house markers. These could be placed on individual houses near the front door or placed on a framed metal marker or on a small stone marker near the front walk.
- Printed information about the district should also be made available.
- All signage would require approval for style and placement locations by the City.



**Questions?**

Property owners with any questions about this document, the preservation process, building permits and the design review process are asked to contact the Historic Preservation Office at (509) 664-3343.

## Terms and Definitions

**Architecture:** "The art or practice of designing and building structures." (Webster's Dictionary)

**Contemporary:** Happening in this time. This is not a style of building. Any building of this time is "contemporary."

**Context:** The surrounding environment of a building or site, including other structures, site features, landscape and streets.

**Contributing and Non-Contributing:** A property that meets the criteria for listing on a register of historic places and/or may add to the historic inventory of a district vs. "**non-contributing**" which is a property that has been altered from original design and no longer retains its historic qualities.

**Elevation:** A "head-on" drawing of a building façade or object not showing any perspective. An elevation drawing will be in a fixed proportion of the measurement on the actual building.

**Landmark:** A building, district, site or object that holds historical, cultural or architectural significance on a local, state or national level. "Official" landmarks are structures listed in the National or State Registers of Historic Places, or which receive protection under local preservation ordinances.

**Historic District:** A geographical definable area that contains buildings, sites or structures united by historical associations or by architectural design, setting, materials, or other visual attributes. Areas recognized as historic districts are recognized the same as Landmarks.

**International Style** – Buildings designed with principles following the Bauhaus School of Design. This is a functional style of architecture with simple planes and lack of ornament.

**Preservation:** Keeping an existing building in perfect or unaltered condition. This usually includes the overall form of the building, its structural system and finishes as well as any decorative details. Landscaping materials may also be preserved.

**Quions:** Emphasized blocks at angles of a building; originally used to strengthen the angles, now used for decoration.

**Reconstruction:** Recreating an historic building that has been destroyed by erecting a new structure that duplicates the original as closely as possible. A reconstruction may be built with new or old recycled materials and utilize original construction methods with the final product achieving the same visual effect as the original design.

**Rehabilitate:** To return to useful life. This is the process of returning a property to a state of utility, by repair or alteration, which makes possible contemporary use while preserving significant and historic architectural and cultural aspects.

**Remodeling:** Changing the appearance of a structure, inside and out, by covering original details or substituting new materials and forms.

**Renovation:** Making a structure sound and reusable without any special regard to the period or architectural appearance.

**Restoration:** Returning a building to the appearance it had at some previous time: often when it was built. A "historic restoration" requires precise restoration to the original appearance. This often means removing the work of later periods. This "scholarly" approach is normally used only for museum houses. For houses that function as homes, the approach normally taken is an "interpretive restoration" or an "adaptive restoration" when the house is restored in keeping with the original architectural style and the decoration and furnishing are of a period appropriate to the house without attempting to precisely duplicate the original appearance of the exterior and interior down to the last detail.

**Stabilize:** To make resistant to change in condition or to retard deteriorations until it can be repaired.

**Streetscape:** The visual character of a street, as created by the combination of its form, paving materials, and street furniture; combined with the design, materials, and relationships of the surrounding building.

## Glossary of Architectural Terms

**Bargeboard:** The raking boards found at the gable of a building. Whenever the roof framework overhands the end (gable) walls, a bargeboard is frequently used to cover the ends of the roof timbers. Bargeboards are often the occasion for a variety of ornamentation.

**Base:** The lowest part of a building; the lowest part of a column.

**Balustrade:** A railing or low wall consisting of a handrail on balusters (small supporting posts) and a base rail.

**Cap:** The top member of a column or pilaster.

**Clerestory:** An upper zone of wall pierced with windows that admit light into a large room.

**Coping:** A capping to a wall or parapet

**Corbel:** A bracket of stone, wood, or metal projecting from the side of a wall and serving to support a cornice, the spring of an arch, a balustrade or other element.

**Cornice:** A projecting ornamental molding along the top of a building crowing it.

**Dentil:** A band of small tooth-like blocks forming part of the decoration below the cornice.

**Divided lights:** A window with separate sections or compartments grouped as one window.

**Dormer:** A window set upright in a sloping roof; the roofed projection in which this window is set.

**Façade:** A face of a building, usually the front.

**Fascia:** A horizontal band of vertical face trim.

**Gable:** The triangular wall enclosed by the sloping ends of a ridged roof.

**Hood Molding:** A projecting molding around the top of a doorway or window to throw off the rain.

**Lattice:** An open screen or grill made of interlocking or overlapping strips.

**Lintel:** A horizontal beam spanning an opening.

**Molding:** A shaped strip of wood, metal, brick, etc., usually mounted horizontally, and used as an ornament on a surface of a structure.

**Motif:** An element in a composition, a principal repeated element in design.

**Mullins:** One of the vertical members of a window, dividing the glass.

**Muntin:** An intermediate member of a door's framework separating the panels.

**Palladian window:** A three-sectioned window, the center section is vertical with a rounded top. The side windows are slightly shorter with flat or rounded tops. The three separate parts are grouped together.

**Parapet:** Either the edge of the roof or the top of a wall forming the top line of the building silhouette.

**Pediment:** A special feature for roof trim; a low pitched triangle gable used as a decorative feature similar to a temple front.

**Pilaster:** A rounded shallow rectangular pillar attached to the wall of a structure.

**Portico:** A porch or covered walk consisting of a roof supported by columns, a colonnaded porch.

**Shaft:** The main portion of a column, between the base and capital.

**Shingle:** A roofing or siding element of (usually) wood in decorative patterns such as scalloped and diamond shapes or fish scale designs.

**Siding:** The finish covering of an exterior wall on a frame building. Other terms for siding are shiplap, clapboard or cladding.

**Sill:** The horizontal bottom member of a door or window frame.

**Transom:** A horizontal cross bar in a window, over a door or between a door and window above it. Also refers to a window above a door or other window built and often hinged to a transom.